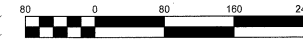
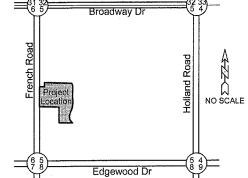


# North Edgewood Estates

All of Lot 2 of CSM 7488, being part of the Northwest 1/4 of the Southwest 1/4 Section 5, Township 21 North, Range 18 East, City of Appleton, Outagamie County, Wisconsin

## LOCATION MAP

SEC 5, T 21 N, R 18 E,  
CITY OF APPLETON  
OUTAGAMIE COUNTY, WI



Bearings are referenced to the West line of the Southwest 1/4, Section 05, T21N, R18E, assumed to bear S00°02'25"E, base on the Outagamie County Coordinate System.

CURVE TABLE								LINE TABLE		
Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle	Tangent Bearing-In	Tangent Bearing-Out	Line	Bearing	Length
C1	280.00	S 77°53'22" E	117.87	118.76	24°18'05"	S 89°57'35" W	S 65°54'20" E	L1	N 78°29'27" E	20.18'
C2	280.00	N 83°29'43" W	63.83	63.97	13°02'23"	S 89°57'35" W	N 76°57'01" W	L2	N 78°29'27" E	20.14'
C3	280.00	N 71°20'41" W	54.70	54.79	11°12'41"	N 76°57'01" W	N 65°54'20" W	L3	S 28°10'09" E	132.78'
C4	220.00	S 77°42'48" E	91.29	91.96	23°56'57"	S 89°54'20" E	S 89°41'18" E	L4	N 28°10'09" W	132.78'
C5	220.00	N 70°24'18" W	35.79	35.83	9°19'55"	S 89°54'20" E	N 70°54'19" W			
C6	220.00	N 62°22'48" W	55.97	56.13	14°37'02"	N 70°54'19" W	N 89°41'18" W			
C7	70.00	S 83°24'05" W	16.84	16.89	13°49'15"	N 70°54'19" W	S 89°41'18" E			
C8	280.00	S 03°30'17" E	37.26	37.28	7°37'46"	S 89°18'36" W	S 07°19'15" E			
C9	70.00	S 07°29'55" E	19.02	19.08	13°57'01"	S 89°18'36" W	S 07°18'36" E			
C10	130.00	N 83°24'05" E	31.28	31.36	13°49'15"	N 89°41'18" W	S 78°29'27" E			
C11	280.00	S 77°42'48" E	116.19	117.04	23°56'57"	S 89°54'20" E	N 89°41'18" W			
C12	280.00	S 87°23'14" E	22.48	22.49	4°36'07"	S 89°41'18" W	S 85°09'11" E			
C13	280.00	N 78°48'48" W	80.58	80.86	18°32'45"	S 85°09'11" E	N 89°32'25" W			
C14	280.00	S 67°08'23" E	13.69	13.69	2°48'05"	S 89°32'25" W	S 65°42'20" E			
C15	220.00	S 77°53'22" E	92.61	93.31	24°18'05"	S 89°57'35" W	N 65°42'20" E			
C16	220.00	N 77°15'28" W	87.87	88.48	23°02'18"	N 65°42'20" E	N 89°48'39" W			
C17	220.00	S 89°24'32" E	4.89	4.89	1°15'48"	N 89°48'39" W	N 89°57'35" E			
C18	135.00	N 74°18'18" W	73.22	74.19	31°28'13"	S 89°57'35" E	N 89°57'35" E			
C19	315.00	N 73°34'11" W	111.29	112.57	26°59'56"	S 89°54'11" E	S 58°41'11" E			
C20	315.00	S 62°31'02" E	29.80	29.82	7°53'41"	S 58°41'11" E	S 68°27'23" E			
C21	315.00	N 77°31'02" W	82.44	82.95	22°06'56"	N 68°27'23" W	N 89°54'11" W			
C22	285.00	S 72°29'32" E	157.80	159.89	32°09'39"	N 89°54'11" W	S 58°26'32" E			
C23	285.00	N 85°12'28" W	33.26	33.28	8°14'24"	N 88°34'11" W	N 89°54'11" W			
C24	285.00	N 72°40'40" W	91.19	91.54	18°24'14"	N 89°54'11" W	N 53°28'34" E			
C25	285.00	N 59°57'03" W	35.05	35.07	7°03'01"	N 63°28'34" W	N 58°25'32" W			
C26	70.00	S 09°25'53" W	22.58	22.68	18°34'00"	N 00°08'53" E	N 18°42'53" E			
C27	120.00	S 14°00'38" E	68.71	69.31	28°19'01"	N 28°10'09" W	N 00°08'53" E			
C28	120.00	N 12°59'18" W	54.55	55.03	28°16'23"	N 00°08'53" E	N 28°07'30" W			
C29	120.00	S 27°08'49" E	4.28	4.28	2°02'39"	S 28°07'30" W	S 28°10'09" E			
C30	280.00	S 23°53'42" E	41.74	41.78	8°32'54"	N 19°37'15" W	N 28°10'09" W			
C31	65.00	S 74°18'18" E	35.26	35.70	31°28'14"	N 88°57'35" E	S 68°34'11" E			
C32	285.00	S 73°34'11" E	147.53	149.23	30°00'00"	S 88°34'11" E	S 88°34'11" E			
C33	285.00	S 62°20'04" E	37.42	37.45	7°14'45"	S 88°34'11" E	S 66°05'06" E			
C34	285.00	S 74°49'31" E	86.48	86.81	17°27'09"	S 66°05'06" E	S 83°33'05" E			
C35	285.00	S 86°03'38" E	24.85	24.96	5°01'05"	S 83°33'05" E	S 88°34'11" E			
C36	215.00	S 72°25'32" E	119.04	120.62	32°06'38"	S 88°34'11" E	S 58°25'32" E			
C37	215.00	S 83°28'48" E	36.40	36.45	10°14'46"	S 58°25'32" E	S 78°19'25" E			
C38	215.00	S 67°22'39" E	81.67	82.17	21°53'52"	S 78°19'25" E	S 58°25'32" E			
C39	130.00	N 12°53'33" E	57.36	57.63	25°29'21"	N 25°38'13" E	N 00°08'53" E			
C40	180.00	N 14°03'38" W	86.06	86.86	28°19'01"	N 00°08'53" E	N 28°10'09" W			
C41	180.00	N 00°34'31" W	4.54	4.54	1°28'47"	N 00°08'53" E	N 01°17'59" W			
C42	180.00	N 12°38'08" W	70.77	71.23	22°42'28"	N 01°17'59" W	N 23°59'21" W			
C43	180.00	N 26°04'15" W	13.18	13.18	4°11'48"	N 23°59'21" W	N 28°10'09" W			
C44	220.00	N 13°59'47" W	108.23	109.35	28°28'45"	N 28°10'09" W	N 00°18'36" E			
C45	220.00	N 20°59'42" W	54.95	55.09	14°20'54"	N 28°10'09" W	N 13°49'15" W			
C46	220.00	N 06°45'20" W	54.12	54.26	14°07'51"	N 13°49'15" W	N 00°18'36" E			
C47	130.00	N 03°35'42" W	17.71	17.72	7°49'35"	N 00°18'36" E	N 07°25'59" W			

## NOTES

- All linear measurements have been made to the nearest one hundredth of a foot.
- All angular measurements have been made to the nearest 20 seconds and computed to the nearest half seconds.
- Outlot 1 will be owned by the developer who retains the rights and privileges to deed the lands to an adjoining land owner.
- Outlot 2 is Dedicated to the City of Appleton for Stormwater management and will be maintained by the City of Appleton.
- Lots 37-45 are subject to additional restrictions related to floodplain and wetlands. The wetland setback line as shown is the most restrictive setback. Impervious surfaces, including, but not limited to: buildings, patios, and sidewalks, are not allowed within the wetland protective setback area. Impervious surfaces may be allowed within the wetland protective setback area and outside the wetlands and floodway under the following conditions:
  - Runoff from the impervious surface is made to drain away from the wetland so that it enters the City storm sewer.
  - Written approval has been granted by Wisconsin Department of Natural Resources and submitted to City of Appleton Department of Public works for concurrence, to allow a lesser specified setback to the wetland, according to Maximum Extent Practicable (MEP) consideration.
- All elevation shown on map are per City of Appleton Datum based on NGVD 29.
- Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1, of the state constitution
- The 20' Drainage and Maintenance along the Navigable Stream is granted to the City of Appleton.

## LEGEND

- 1/4" Rebar Found
- 3/4" Rebar Found
- 1" O.D. Iron Pipe Found
- 1/4" x 30" Steel Bar @ 4.17lbs/LF SET
- All other corners
- 3/4" x 24" Steel Rebar @ 1.50lbs/LF SET
- SF Lot areas in square feet



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified June 10, 2019  
James P. Reigel  
Department of Administration



# North Edgewood Estates

All of Lot 2 of CSM 7488, being part of the Northwest 1/4 of the Southwest 1/4 Section 5,  
Township 21 North, Range 18 East, City of Appleton, Outagamie County, Wisconsin

## Surveyor's Certificate

I, James R. Sehlhoff, Professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the City of Appleton, and under the direction of North Edgewood Estates Development, LLC, owner of said land, I have surveyed divided and mapped North Edgewood Estates, that such plat correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is All of Lot 2 of CSM 7488, being part of the Northwest 1/4 of the Southwest 1/4 Section 5, Township 21 North, Range 18 East, City of Appleton, Outagamie County, Wisconsin, containing 1,070,335 Square Feet (24.5715 Acres) of land more or less, including all lands between the meander line and the centerline of Apple Creek, subject to all easements, and restrictions of record.

Given under my hand this 13<sup>th</sup> day of June, 2019

James R. Sehlhoff, Wisconsin Professional Land Surveyor No. S-2692

## Utility Easement Provisions

An easement for electric, natural gas, and communications service is hereby granted by

North Edgewood Estates Development, LLC, Grantor, to:

Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as We Energies, Grantee, SBC, Grantee, and Time Warner Cable, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantee's facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantee. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

North Edgewood Estates Development, LLC.

Kurt Coenen, Managing Member

6-13-19  
Date

## Owner's Certificate

North Edgewood Estates Development, LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as the property owner, does hereby certify that said limited liability company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

North Edgewood Estates Development, LLC, does further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

City of Appleton  
Department of Administration

Dated this 13<sup>th</sup> day of June, 2019

In the presence of: North Edgewood Estates Development, LLC.

Kurt Coenen

State of Wisconsin)

Outagamie County) ss

Personally came before me this 13<sup>th</sup> day of June, 2019, the above the property owner(s) to me known to be the persons who executed the foregoing instrument and acknowledge the same.

My Commission Expires 3/1/2023

## Drainage/Maintenance, Landscape Berm/ Drainage, Storm Sewer and Watermain Easement Provisions

An easement for Drainage/Maintenance, Landscape Berm/ Drainage; Storm Sewer and Watermain Easement is hereby granted by:

North Edgewood Estates Development, LLC., Grantor, to:

THE CITY OF APPLETON, Grantee,

- Purpose:** The purpose of this easement is for the Grantee to access, install, regrade, replace, relocate, operate, maintain, resize and repair watermain, storm sewer, drainage ditch/swale, landscape berm and associated appurtenances. Grantee does hereby agree to compensate Grantor fully for any damage caused directly or indirectly from said maintenance, repair, replacement or relocation of said watermain, storm sewer, drainage ditch/swale, landscape berm and associated appurtenances that occur outside of the easement area. Trees, bushes, branches and roots may be trimmed or removed so as not to interfere with grantee's use of the easement area.
- Access:** Grantee or its agents shall have the right to enter the grantor's land for the purpose of exercising its rights in the easement area.
- Buildings or Other Structures:** Buildings or any other type of structure shall not be placed over Grantee's facilities or in, upon or over the property within the lines marked "Drainage/Maintenance; Landscape Berm/ Drainage; Storm Sewer or Watermain Easement".
- Elevation:** The grantor agrees that the elevation of the existing ground surface within the easement area will not be altered without the written consent of grantee.
- Restoration:** Grantee agrees that it will restore subsurface materials on grantor's land, as nearly as is reasonably possible, to the prior existing condition when conducting all future maintenance, resizing or repair activities. Grantor shall be responsible for all surface restoration. Grantee shall not be required to restore or compensate for any improvements or improved surfaces such as, but not limited to, curb and gutter, hard pavements, sidewalks, structures, trees, shrubs and landscaping, disturbed as a result of the maintenance activities described herein.
- Notification:** Grantee agrees that it shall give timely notice to the Grantor of routine maintenance work. Grantee and Grantor agree to cooperate in good faith to minimize interference or disruption to the normal facility operations. Grantee shall provide advance notice to Grantor (except in emergency situations, in which event notice shall be provided as soon as is practical) of any activity with a reasonable likelihood of interfering or disrupting the operation Grantor's facility, and to conduct such activities at mutually agreeable times.
- Drainage/Maintenance or Landscape Berm/ Drainage easements** are conveyance paths for storm water. The placement of fill in a drainage easement, which interferes with the flow or changes to the shape of the drainage easement by the lot owner or his agent, is prohibited. Upon failure of lot owner's to maintain said drainage ways and easements as designed, the City of Appleton retains the right to perform maintenance and/or repairs. The payment of said maintenance and/or repairs shall be equally assessed to the adjacent lot owners.

This grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

North Edgewood Estates Development, LLC.

Kurt Coenen, Managing Member

## City of Appleton Approval

Resolved, that the plat of North Edgewood Estates, in the City of Appleton, Outagamie County, North Edgewood Estates Development, LLC, owners, is hereby approved by the Common Council of the City of Appleton.

Mayor Kevin J. Gorman 6-20-19  
Date

I hereby certify that the foregoing is a copy of a resolution adopted by the the Common Council of the City of Appleton.

Clerk Karen J. Gorman 6/19/2019  
Date

## Treasurer's Certificate

We, being the duly elected, qualified and acting Treasurer's of the City of Appleton and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this plat.

City Treasurer Anthony D. Loman 6/25/19  
Date

County Treasurer Justin J. Wolf 6/25/2019  
Date

This Final Plat is contained wholly within the property described in the following recorded instruments:

The property owner of record:

Recording Information: Parcel Number(s):

North Edgewood Estates Development, LLC.

Doc No. 2126430

31-1-7609-00

Document #: 2163699  
Date: 06-26-2019 Time: 09:44 AM  
Pages: 4 of 4 \$50.00  
County: OUTAGAMIE COUNTY State: WI

SARAH R VAN CAMP, REGISTER OF DEEDS  
Returned to: FILE

Cabinet N-Pages 5-8

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified June 10<sup>th</sup>, 2019

Benjamin P. Dorn  
Department of Administration



Revision Date: May 30, 2019  
File: 5032Final.dwg  
Date: 05/30/2019  
Drafted By: Jim  
Sheet: 2 of 4



**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
CIVIL ENGINEERING CONSULTANTS  
1811 Racine Street, Menasha, WI 54952  
Ph: 920-961-1866 Fax: 920-830-9595  
www.davel-pro

All of Lot 2 of CSM 7488, being part of the Northwest 1/4 of the Southwest 1/4 Section 5, Township 21 North, Range 18 East, City of Appleton, Outagamie County, Wisconsin

Setback shown is per City of Appleton protective area in  
City of Appleton Code 20-312(f)

The following requirements apply as excerpted from City of Appleton Municipal Code 20-32(1f):

- (3) The following requirements shall be met:
  - a. The vegetative ground cover shall be kept out of the protective area entirely or [as may be approved by the City of Appleton] to the maximum extent practicable.
  - b. Where land disturbing construction activity occurs within a protective area, and where no impervious surface is present, and where the vegetative ground cover of seventy percent (70%) ground cover shall be established and maintained. The self-sustaining vegetative cover shall be sufficient to provide for bank stability, maintenance of fish habitat and filtering of pollutants from upslope overland flow areas under sheet flow conditions. (Subject to the issuance of all applicable permit), nonvegetative ground cover such as rock or concrete shall be used in the protective area as necessary to prevent erosion, such as on steep slopes or where high velocity flows occur.
  - c. Best management practices such as filter strips, treatment swales, or wet detention basins, that are designed to control runoff from nonpoint sources may be installed within the protective area.
  - d. (Protective areas do not apply to:
    - i. Post-construction sites from which runoff does not enter the surface water, including wetlands, without first being treated by a treatment facility that has been approved by the City of Appleton, except to the extent that vegetative ground cover is necessary to maintain bank stability.

Bearings are referenced to the West line of the Southwest 1/4, Section 05, T21N, R18E, assumed to bear S00°02'25"E, base on the Outagamie County Coordinate System.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

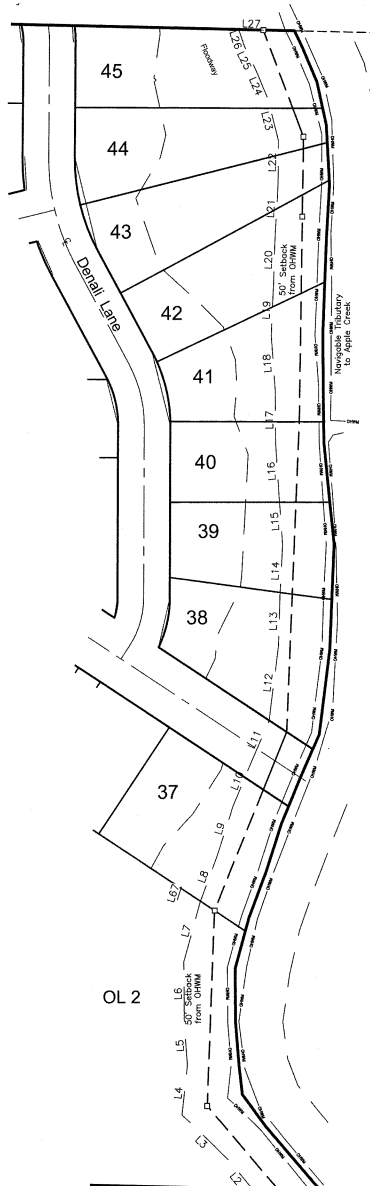
Certified June 10<sup>th</sup>, 2019

*Renee M. Pomeroy*  
Department of Administration

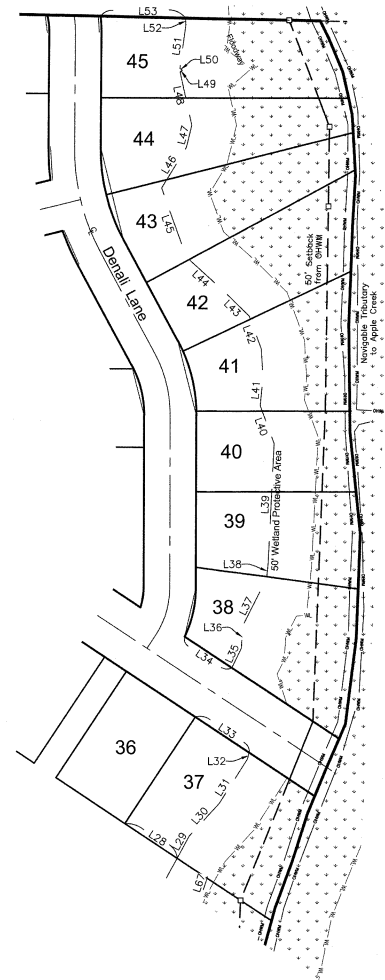


Construction or placement of structures is prohibited within the shoreland setback area. The following requirements apply as excerpted from Appleton Municipal Cod Sec. 23-754:

- (a) There shall be established a shoreland setback area of at least fifty (50) feet from the ordinary high water mark.
- (c) A person who owns shoreland property that contains vegetation, shall maintain that vegetation in a vegetative buffer zone along the entire shoreline of the property and extending thirty-five (35) inland from the ordinary high water mark of a navigable water.
- (d) If the vegetation in a vegetative buffer zone contains invasive species or dead or diseased vegetation the owner of the shoreland property may remove the vegetation, except that if the owner removes all of the vegetation in the vegetative buffer zone, the owner shall establish a vegetative buffer zone with new vegetation.
- (e) The person who is required to maintain or establish a vegetative buffer zone under paragraph (c) above, may remove all of the vegetation in a part of that zone in order to create a new wetland area. The new wetland area shall be at least thirty (30) feet wide and every one hundred (100) feet of shoreland frontage and that extends no more than thirty-five (35) feet inland from the ordinary high water mark.



These exhibits are a representation of current conditions and regulations, at the time of plotting. Per the City's current interpretation of City of Appleton code 17.12(b)(2) dimensional location of these lines is required. Due to changing nature of environmental conditions and regulatory nature of wetlands, flood plain and ordinary high water mark these dimensions should only act as a guide and actual field conditions and/or legislative regulations are held over dimensions shown on this map.



File: 5032Final exhibit.dwg  
Date: 04/23/2019  
Drafted By: jim  
Sheet: 3 of 4

Revision Date: Apr 23, 2019



**DAVEL ENGINEERING &  
ENVIRONMENTAL, INC.**  
CIVIL ENGINEERING CONSULTANTS

1811 Racine Street Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-830-9595  
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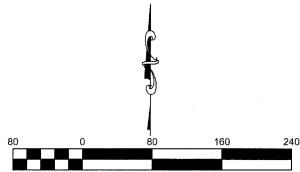
# NOTE:

These exhibits are a representation of current conditions and regulations, at the time of plotting. For the City's current interpretation of City of Appleton code 17.12(b)(2) dimensioned location of these lines is required. Due to changing nature of environmental conditions and regulatory nature of wetlands, flood plain and ordinary high water mark these dimensions should only act as a guide and actual field conditions and/or legislative regulations are held over dimensions shown on this map.

## Flood Plain Area Exhibit:

Floodplain is shown per FEMA Conditional Letter of Map Revision (CLOMR) 19-05-0161R, dated

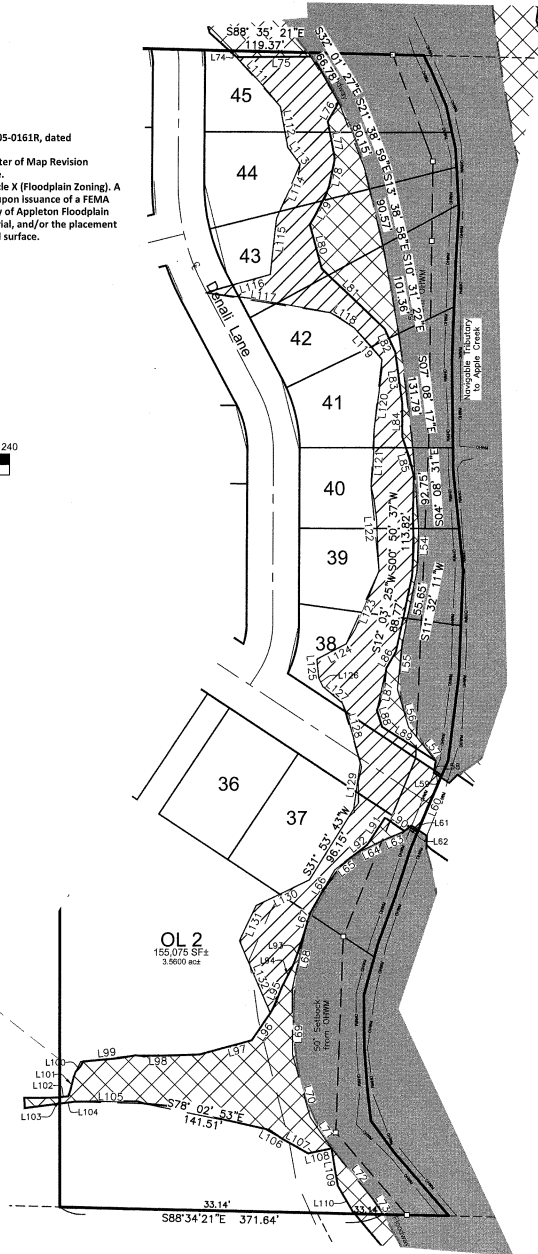
MAY 23, 2019, and is subject to change based on the pending FEMA Letter of Map Revision (LOMR) after FEMA-approved proposed fill placement by developer is complete. The floodplain is regulated by City of Appleton Municipal Code Chapter 19 Article X (Floodplain Zoning). A City of Appleton floodplain zoning official map revision is pending, dependent upon issuance of a FEMA LOMR. The following activities are prohibited within the floodplain unless a City of Appleton Floodplain Permit has been issued authorizing the activity: grading, placement of fill material, and/or the placement or construction of any structures that occupy volume above the existing ground surface.



Bearings are referenced to the West line of the Southwest 1/4, Section 05, T21N, R18E, assumed to bear S00°02'25"E, base on the Outagamie County Coordinate System.

## LEGEND

- Floodway Area
- Floodplain Area
- Flood plain to be filled
- Meets & Bounds linework



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified June 10<sup>th</sup>, 2019

*Benjamin M. Davel*  
Department of Administration

# North Edgewood Estates

All of Lot 2 of CSM 7488, being part of the Northwest 1/4 of the Southwest 1/4 Section 5, Township 21 North, Range 18 East, City of Appleton, Outagamie County, Wisconsin

LINE TABLE		
Line	Bearing	Length
L1	N 88°34'21" W	29.86
L2	N 39°29'56" W	41.88
L3	N 46°15'17" W	74.79
L4	N 06°11'10" E	57.24
L5	N 04°27'11" W	45.92
L6	N 00°30'13" W	72.24
L7	N 15°14'38" E	70.35
L8	N 20°14'16" E	68.95
L9	N 17°46'08" E	65.35
L10	N 22°23'04" E	57.84
L11	N 23°30'34" E	40.31
L12	N 07°07'38" E	67.48
L13	N 01°37'22" E	55.36
L14	N 02°49'45" E	59.97
L15	N 04°04'08" W	55.12
L16	N 03°53'10" W	60.59
L17	N 00°36'36" W	62.79
L18	N 04°04'20" W	62.68
L19	N 02°23'48" E	55.67
L20	N 01°53'18" E	57.46
L21	N 03°10'02" E	56.89
L22	N 00°10'48" E	50.15
L23	N 14°19'44" W	48.31
L24	N 23°04'41" W	36.45
L25	N 28°12'09" W	28.23
L26	N 19°03'46" W	20.14
L27	N 88°35'21" E	28.19
L28	N 56°25'32" E	72.03
L29	N 28°37'23" E	29.02
L30	N 42°35'42" E	51.25
L31	N 32°29'45" E	59.52
L32	N 15°53'48" E	7.72
L33	N 58°25'32" E	74.09
L34	N 56°25'32" E	64.87
L35	N 25°46'38" E	25.04
L36	N 04°19'41" E	26.19
L37	N 28°30'54" E	60.36
L38	N 06°07'18" E	15.77
L39	N 02°56'41" E	138.83
L40	N 20°17'55" W	46.57
L41	N 05°08'51" E	33.49
L42	N 20°03'02" W	40.48
L43	N 45°19'38" W	39.70
L44	N 47°24'17" W	60.24

LINE TABLE		
Line	Bearing	Length
L45	N 19°37'34" W	63.62
L46	N 31°37'50" E	53.97
L47	N 13°44'40" E	25.99
L48	N 12°38'06" W	61.70
L49	N 49°53'17" E	3.31
L50	N 51°48'37" W	3.57
L51	N 07°55'56" E	50.20
L52	N 03°47'17" W	7.39
L53	N 88°35'21" E	97.61
L54	S 02°01'28" W	48.69
L55	S 05°59'32" E	48.17
L56	S 18°27'07" E	45.28
L57	S 38°47'47" E	49.92
L58	S 09°11'49" W	13.94
L59	S 56°25'32" E	9.70
L60	S 22°59'08" W	66.13
L61	N 55°25'32" W	5.50
L62	S 52°18'18" W	10.22
L63	S 60°18'04" W	30.98
L64	S 63°44'23" W	30.04
L65	S 52°44'00" W	30.68
L66	N 39°50'15" E	56.54
L67	N 18°13'54" E	15.72
L68	S 12°22'32" W	73.12
L69	S 00°06'55" E	75.58
L70	S 15°53'59" E	74.55
L71	S 34°35'20" E	43.48
L72	S 38°11'10" E	75.12
L73	S 33°12'16" E	21.07
L74	S 47°16'02" E	10.62
L75	N 89°51'08" E	85.62
L76	S 29°45'50" W	25.22
L77	S 10°57'38" E	41.63
L78	S 11°55'20" W	36.72
L79	S 27°34'55" W	44.88
L80	S 15°17'08" E	51.79
L81	S 46°37'25" E	88.83
L82	S 24°45'55" E	29.21
L83	S 07°48'22" E	58.10
L84	S 00°20'10" E	38.23
L85	S 16°21'28" E	47.58
L86	S 30°16'32" W	22.30
L87	S 12°22'50" W	49.21
L88	S 16°50'16" E	19.79

LINE TABLE		
Line	Bearing	Length
L89	S 27°33'36" E	73.34
L90	S 55°13'25" E	27.02
L91	N 33°21'01" E	36.98
L92	N 51°14'22" E	16.40
L93	S 18°13'54" W	47.99
L94	S 27°18'10" W	27.41
L95	S 24°05'39" W	32.70
L96	S 34°28'15" W	37.38
L97	S 75°00'38" W	62.33
L98	S 89°28'53" W	73.23
L99	S 83°18'23" W	63.60
L100	S 28°07'58" W	13.00
L101	S 16°48'28" W	29.05
L102	S 84°13'27" W	9.93
L103	S 00°02'25" E	7.32
L104	N 62°43'07" E	16.98
L105	S 88°31'04" E	60.39
L106	S 60°30'30" E	23.03
L107	S 60°30'30" E	34.11
L108	N 78°29'37" E	27.80
L109	S 09°28'05" E	43.83
L110	S 30°18'50" E	37.68
L111	S 42°00'32" E	75.59
L112	S 10°45'48" E	47.14
L113	S 36°23'05" E	23.83
L114	S 23°43'24" E	66.83
L115	S 08°19'44" W	63.95
L116	S 74°22'52" W	76.97
L117	S 60°58'15" E	145.55
L118	S 57°44'10" E	32.09
L119	S 41°11'17" E	48.00
L120	S 06°19'00" W	81.38
L121	S 02°51'33" W	64.62
L122	S 05°26'41" E	97.27
L123	S 24°15'43" W	91.49
L124	S 82°25'03" W	38.08
L125	S 08°09'47" E	21.84
L126	S 25°52'51" E	10.76
L127	S 45°36'28" E	26.30
L128	S 16°44'32" E	72.16
L129	N 08°00'28" E	53.25
L130	S 30°17'17" W	67.59
L131	S 25°24'43" W	44.65
L132	S 23°21'11" E	89.95

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