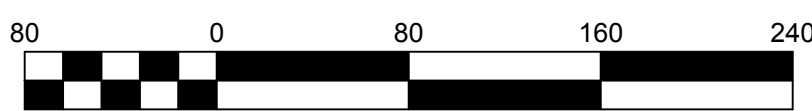
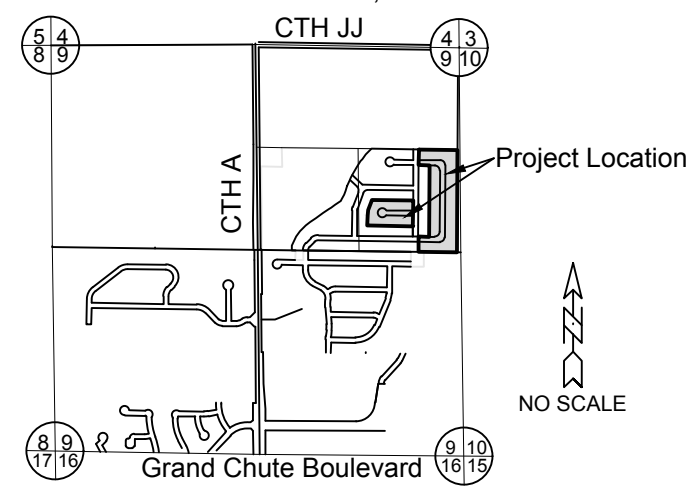


White Hawk Meadows North 4

Part of Lot 1, CSM 6807, being located in part of the Southeast 1/4 of the Northeast 1/4, Section 9, Township 21 North, Range 17 East, Town of Grand Chute, Outagamie County, Wisconsin

LOCATION MAP

NE 1/4 SEC 9, T 21 N, R 17 E,
TOWN OF GRAND CHUTE
OUTAGAMIE COUNTY, WI



Bearings are referenced to the East line of the NE 1/4 Section 9 assumed to bear N00°30'11"W based on Outagamie County coordinate system

LEGEND

- △ 1/4" Rebar Found
- 3/4" Rebar Found
- 1 1/2" x 18" Steel Rebar @ 4.30lbs/LF SET
- All other corners
- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET

Special Town of Grand Chute Restriction

The final plat is subject to all of the requirements of § 475-15E of the Code of the Town of Grand Chute. The subdivider, for himself and his assigns, shall be responsible for all municipal improvements, including asphalt surface streets, graveled road shoulders or curb and gutter, sewer and water, sewer lift stations, storm sewers, dedicated clear water drainage easements, and streetlighting. Pursuant to § 475-15E of the Code of the Town of Grand Chute, the Town of Grand Chute reserves the right to withhold building permits for this subdivision if the above-stated municipal improvements have not been completed by the subdivider according to the terms and conditions of § 475-15E. Utility Connection Fees (as listed on the Town Fee Schedule) for sewer, water and storm services shall be payable by each lot within the platted subdivision to the Town of Grand Chute Sanitary Districts. A special streetlighting charge, in accordance with the procedures listed under § 57-21, Special charges for current services, shall be assessed annually to property owners of each buildable lot within the subdivision for the energy and facility maintenance costs of streetlighting within the Town. Any costs due to streetlighting in excess of the standards within the Street Lighting Policy, as requested by the subdivider or property owners, shall be assessed directly to the abutting property owners.

Impact Fee Note

There is an impact fee due on each lot in accordance with Chapter 330 Impact Fees of the Town Code of Ordinances and as listed on the most current Town of Grand Chute Impact Fee Schedule.

Lot Grading, Staking and Easements

- The land on all side and rear lot lines of all lots shall be graded by the property owner and maintained by the abutting property owners to provide for adequate drainage of surface water.
- Each lot owner shall grade the property to conform to the lot line grades established by the drainage plan for White Hawk Meadows North. It is the responsibility of the lot owner to comply with these established elevations.
- No poles, pedestals, transformers or buried cable are to be placed within two (2) feet of any survey stake, or placed so as to obstruct vision along any lot line or street line. Any disturbance of a survey stake by any person is a violation of § 236.32 Wis. Stats.
- Utility easements as herein set forth are for the use of public bodies and private utility providers having the right to serve the area.

Stormwater Facility Maintenance Note

Maintenance of all drainage ways, including easements as indicated on the plat and along side and rear lot lines that convey stormwater runoff in accordance with the approved Drainage Plan, and associated structures within the land division or serving the land division, is the sole responsibility of the property owners of the land division, unless noted on the plan. Upon failure of property owners to perform maintenance of the drainage ways and associated structures within the land division or serving the land division, the Town of Grand Chute and/or Outagamie County retains the right to perform maintenance and/or repairs. The payment of the maintenance and repairs shall be assessed in equal amounts to the owners of all property within the land division, or, where the causer can be specifically identified, the payment shall be assessed to a specific property owner.

Unless otherwise noted, a drainage easement exists upon all existing navigable streams, between the meander lines as shown.

No structures, fences or plantings other than grasses shall be allowed within the drainage easements herein set forth.

Geotechnical Study Statement

A Report of Geotechnical Exploration, RVT #AG03-205, dated October 27, 2003 is on file. This report makes general recommendations based on site conditions for pavements and foundations.

Access Restriction Note:

Lot 112 will not be granted access on to Wren Drive.

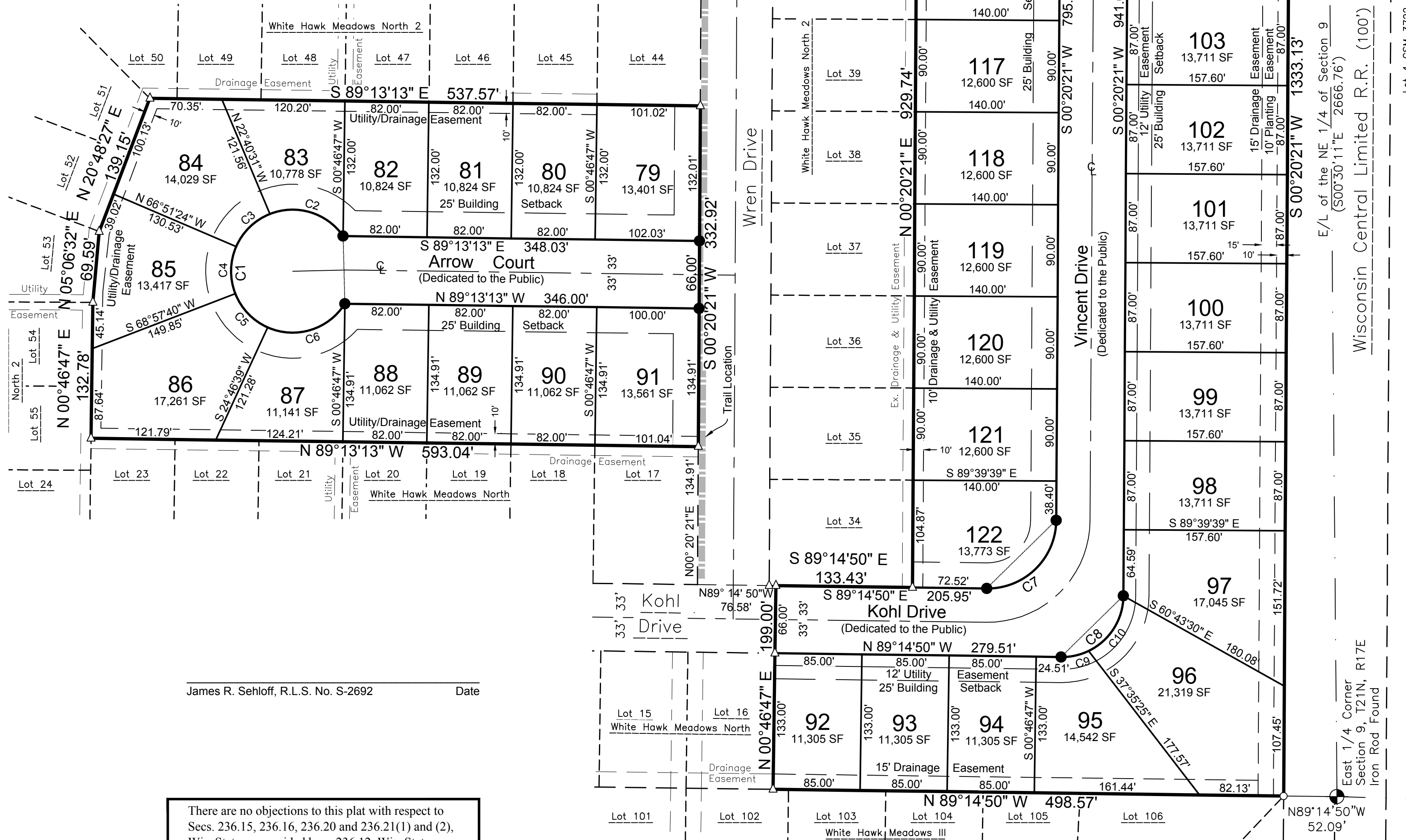
Planting Easement:

Lots 96-109 contain a Planting Easement for the sole purpose of planting trees and shrubs to form a buffer along the rail road right of way. Building of structures in the easement is prohibited.

Notes:

- All linear measurements have been made to the nearest one hundredth of a foot.
- All angular measurements have been made to the nearest 20 seconds and computed to the nearest half seconds.

| CURVE TABLE | | | | | | | |
|-------------|--------|-----------------|--------------|------------|---------------|--------------------|---------------------|
| Curve | Radius | Chord Direction | Chord Length | Arc Length | Central Angle | Tangent Bearing-in | Tangent Bearing-out |
| C1 | 60.00' | N 01°25'17" W | 66.05' | 307.05' | 293°12'37" | S 31°58'25" W | S 34°48'58" E |
| C2 | 60.00' | N 73°18'12" W | 74.68' | 80.61' | 76°58'28" | S 68°12'34" W | N 34°48'58" W |
| C3 | 60.00' | S 45°51'29" W | 45.63' | 46.81' | 44°42'10" | S 23°30'24" W | S 68°12'34" W |
| C4 | 60.00' | S 01°03'09" W | 45.83' | 47.03' | 44°54'29" | S 21°24'06" E | S 23°30'24" W |
| C5 | 60.00' | S 43°45'09" E | 45.63' | 46.81' | 44°42'08" | S 66°06'13" E | S 21°24'06" E |
| C6 | 60.00' | N 72°56'06" E | 78.67' | 85.79' | 81°55'22" | N 31°58'25" E | S 66°06'13" E |
| C7 | 67.00' | S 45°32'45" W | 95.09' | 105.73' | 90°24'47" | S 00°20'21" W | N 89°14'51" W |
| C8 | 60.00' | N 45°32'45" E | 85.16' | 94.68' | 90°24'48" | S 89°14'50" E | N 00°20'21" E |
| C9 | 60.00' | N 77°32'10" E | 27.44' | 27.68' | 26°25'59" | S 89°14'50" E | N 64°19'11" E |
| C10 | 60.00' | N 32°19'46" E | 63.57' | 67.00' | 63°58'50" | N 64°19'11" E | N 00°20'21" E |
| C11 | 60.00' | S 44°26'26" E | 84.53' | 93.79' | 89°33'35" | S 89°13'14" E | S 00°20'21" W |
| C12 | 60.00' | S 65°34'53" E | 48.12' | 49.51' | 47°16'41" | S 89°13'14" E | S 41°56'33" E |
| C13 | 60.00' | S 20°48'05" E | 43.28' | 44.28' | 42°16'54" | S 41°56'32" E | S 00°20'21" W |
| C14 | 67.00' | S 44°26'26" E | 94.39' | 104.73' | 89°33'35" | N 35°19'34" W | S 00°20'21" W |



James R. Sehoff, R.L.S. No. S-2692 Date

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



Revision Date: Aug 03, 2017

File: 2968Final4.dwg
Date: 08/03/2017
Drafted By: jim
Sheet: 1 of 2